

Walsingham Rd and Indian Rocks Rd

13883 Walsingham Rd., Largo, FL 33774

DND Number 5632

GENERAL NOTES

1. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES. COMPLIANCE WILL BE VERIFIED BY SUPERVISOR PROJECT MANAGER (SPM).
2. THE GENERAL CONTRACTOR (GC) WILL PROVIDE ON SITE SUPERVISION FOR ALL AFTER HOURS WORK AND WILL OVERSEE ALL VENDOR'S PROVIDING SERVICES FOR THIS PROJECT.
3. THE GC SHALL REFER TO THE LEGEND ON EACH SHEET FOR NEW INTENDED WORK BY COLOR, INCLUDING NEW EQUIPMENT, SYSTEMS FURNITURE, OFFICE CONSTRUCTION, INSTALLATIONS, RELOCATED/ REUSED WORK, AND DESIGNATED PROGRAM WORK. DEMOLITION WORK IS NOT SHOWN ON THIS PLAN. THE GC IS TO COMPARE THE EXISTING AND PROPOSED PLANS TO DETERMINE GENERAL DIFFERENCES IN THE PLAN AND EXTENTS OF NEW WORK. ACTUAL DEMOLITION REQUIREMENTS SHALL BE FIELD VERIFIED AND COORDINATED WITH SUPERINTENDENT.
4. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
5. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
6. CONTRACTOR TO VERIFY ANY CONFLICTS WITH EXISTING UTILITIES, STRUCTURE, COLUMNS, ETC. PRIOR TO DEMOLITION. NOTIFY ARCHITECT IN WRITING OF DISCREPANCIES WITH EXISTING CONDITIONS AND DESIGN INTENTIONS PRIOR TO WORK COMMENCEMENT. COORDINATE WITH ARCHITECTURAL DRAWINGS (TYP).
7. ALL EXISTING BUILDING SYSTEMS (LIGHTING, POWER, DATA, SECURITY, FIRE SPRINKLERS, HVAC, ETC.) SHALL REMAIN AS IS. FIELD VERIFY EXACT EXTENTS AT AREAS AFFECTED BY DEMOLITION / CONSTRUCTION. NOTIFY SPM IMMEDIATELY IF CONFLICTS ARISE.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
9. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES, SIGNAGE, AND OTHER DEVICES REQUIRED.
10. ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
11. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK ALONG WITH VERIFY ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
12. DELIVERY AND INSTALLATION OF CR / NEW ATM IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
13. GC WILL VERIFY WIRELESS ACCESS POINT (WAP) ACCESS AND FUNCTIONALITY FROM INTERIOR OF ALL NEWLY CONSTRUCTED OFFICES. SPM ALONG WITH BRANCH MANAGER TO ASSURE FUNCTIONALITY. GC SHALL COORDINATE WITH GLOBAL TECHNOLOGY INFRASTRUCTURE (GTI).
14. GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND INSPECTIONS FOR THE CONSTRUCTION OF THE PROJECT. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
15. SIGNAGE:

15.1 SUPERVISOR PROJECT MANAGER (SPM) WILL COORDINATE WITH THE MERCHANDISING MANAGER FOR ALL SIGNAGE NEW AND EXISTING THAT IS TO BE REMOVED AND INSTALLED. GC WILL COORDINATE WITH THE MERCHANDISING VENDOR AS NEEDED FOR SCHEDULING.

15.2 SIGNAGE VENDOR WILL REINSTALL EXISTING BUSINESS BANKING SIGNAGE TO BE CENTERED ON MERCHANT TELLER POSITION (MST).

15.3 GC WILL COORDINATE WITH SPM FOR ALL ACCESSIBLE SIGNAGE NEW AND EXISTING THAT IS TO BE REMOVED, RELOCATED, OR INSTALLED.
16. GENERAL CONTRACTOR TO PROVIDE DUMPSTER AS REQUIRED.
17. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE ALL TRADES AND ENSURE ALL TRADES HAVE THE LATEST DRAWING ISSUANCE. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL THE VENDORS ON SITE DURING CONSTRUCTION.
18. IF APPLICABLE TO PROJECT SCOPE, ALL REQUIRED SLOPE OR CHANGES IN ELEVATION WILL BE MEASURED WITH A 24" SMART LEVEL. THOSE ITEMS FOUND TO BE OUT OF COMPLIANCE SHALL BE REMEDIED BY THE SPM/GC.
19. GENERAL CONTRACTOR SHALL REFER TO GENERAL NOTES AND SHEET NOTES ON EACH DRAWING SHEET AND INCORPORATE AS A PART OF WORK RESPONSIBILITY. UNLESS OTHERWISE SHOWN OR NOTED, ALL TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE. ALL DETAILS SHALL BE CONSIDERED TYPICAL AT SIMILAR LOCATIONS.
20. ALL PLYWOOD AND SHEATHING REFERENCES TO BE FIRE RETARDANT-TREATED PLYWOOD.
21. EXISTING CEILINGS TO REMAIN UNLESS NOTED OTHERWISE OR AFFECTED BY DEMOLITION / CONSTRUCTION. PATCH, REPAIR AND INFILL AS REQUIRED. COORDINATE WITH SPM AT TIME OF SCOPING IF CEILING TILES ARE IN NEED OF REPLACEMENT.
22. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES, EQUIPMENT, AND FINISHES THAT ARE TO REMAIN.
23. SPM WILL PROVIDE A SECURITY PLAN FOR THE PROJECT UNDER A SEPARATE COVER. THE GC WILL COORDINATE ALL REQUIRED WORK BY THE ASSIGNED VENDOR.

KEY SITE PLAN



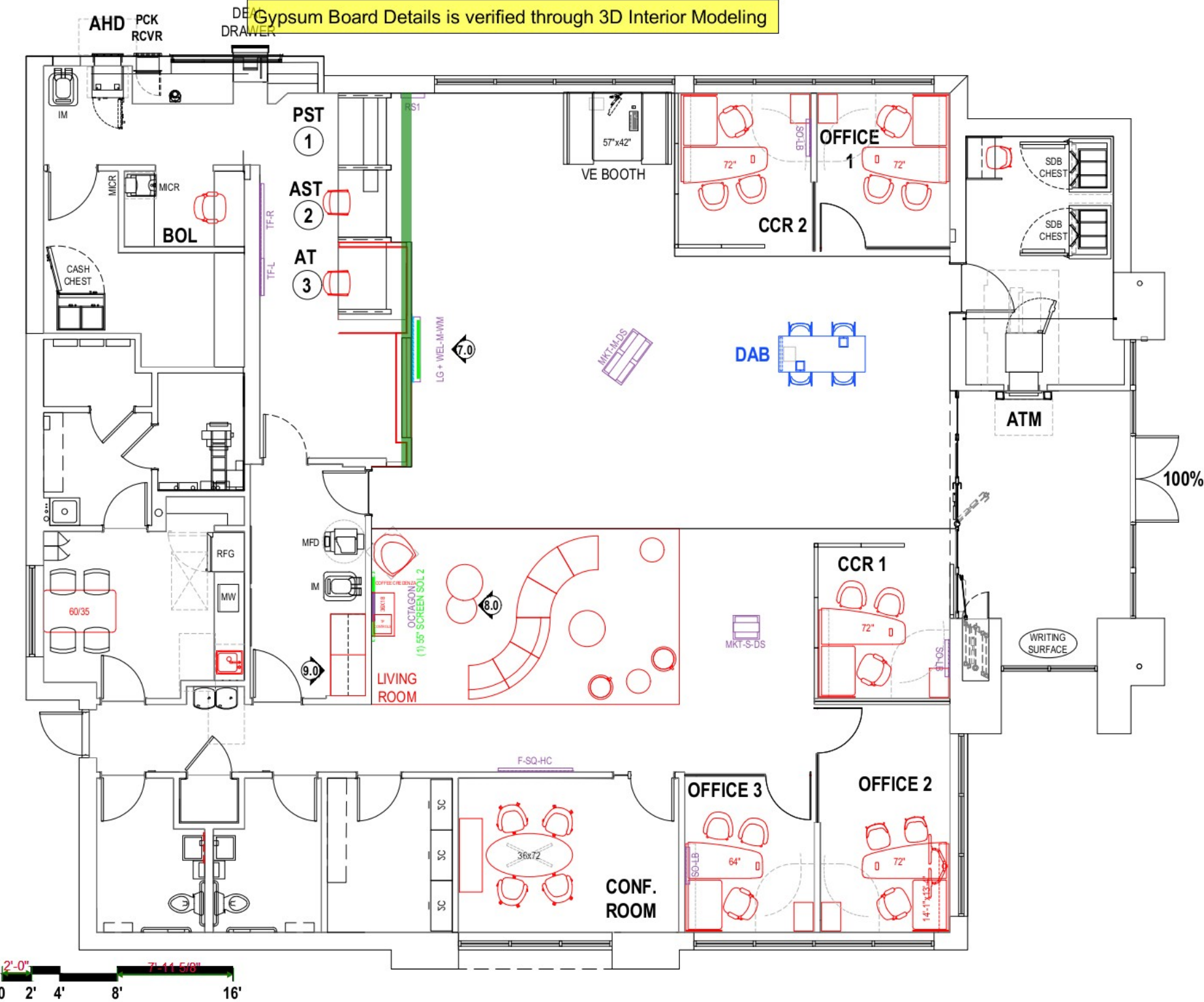
ABBREVIATIONS

- AHD – AFTER HOURS DEPOSITORY
- AST – ACCESSIBLE SERVICE TELLER
- AT – ACCESS TELLER
- ATM – AUTOMATIC TELLER MACHINE
- BRG – BULLET RESISTANT GLASS
- CAT – CUSTOMER ACCESS TABLE
- CCR – CUSTOMER CONFERENCE ROOM
- CPC – CHASE PRIVATE CLIENT
- CR – CASH RECYCLER
- DAB - DIGITAL ADVICE BAR
- DD – DEAL DRAWER
- DRT - DINING ROOM TABLE
- DSD – DESIGN STANDARD DRAWINGS
- DU - DRIVE UP
- eATM - EXPRESS AUTOMATIC TELLER MACHINE
- IM – IRON MOUNTAIN
- IWS – INDIVIDUAL WORK SPACE
- LAO - LEAD ASSOCIATE OPERATIONS
- MDF – MULTI FUNCTIONAL DEVICE
- MST – MERCHANT TELLER
- PR – PACKAGE RECEIVER
- PST – PERSONAL SERVICE TELLER
- SCCR – SMALL CUSTOMER CONFERENCE ROOM
- SDB – SAFETY DEPOSIT BOOTH
- SDB – SAFETY DEPOSIT BOX
- TCD – TELLER CASH DISPENSER
- TOS – TEAM OFFICE SPACE
- VAT - VACUUM AIR TUBE
- VIF - VERIFY IN FIELD

COVER SHEET

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GENERAL NOTES	
●	SPM TO EVALUATE EXISTING CONDITION OF ACOUSTICAL CEILING TILES (ACT), GRID, AND SUPPORTS. CONFIRM QUANTITIES OF LIGHT FIXTURES AND LEVEL OF REPLACEMENT.
●	SPM TO VERIFY EXISTING CEILING HEIGHT(S) INCLUDING SLOPED CONDITIONS.
●	SPM TO IDENTIFY EXISTING CEILING FINISHES AS IT PERTAINS TO THE SCOPE OF WORK.
●	PERFORM ASBESTOS EVALUATION IF REQUIRED BY LOCAL JURISDICTION. GC PERFORM ABATE AS REQUIRED.
●	AD&E IS NOT RESPONSIBLE FOR DETERMINING CEILING CONDITIONS, HEIGHTS, AND MATERIALS. IF INFORMATION IS INSUFFICIENT, IT IS THE RESPONSIBILITY OF THE SPM TO PROVIDE CLARIFICATION.
●	SECURITY DEVICE(S) NOT PERMITTED BLUE ACCENT WALL.
●	IN CASE OF WALL RECEIVING NEW SOLUTION SYSTEM, GC TO REVIEW EXISTING CONDITIONS AND CONFIRM IF DEPTH IS APPLICABLE TO RECEIVE NEW ELECTRICAL. IF EXISTING WALL CONDITION IS NOT APPLICABLE, SPM TO COORDINATE REVISIONS WITH DESIGNER.

PROPOSED FLOOR PLANS

Confidential. JPMorgan Chase Bank, N.A. Proprietary Information.

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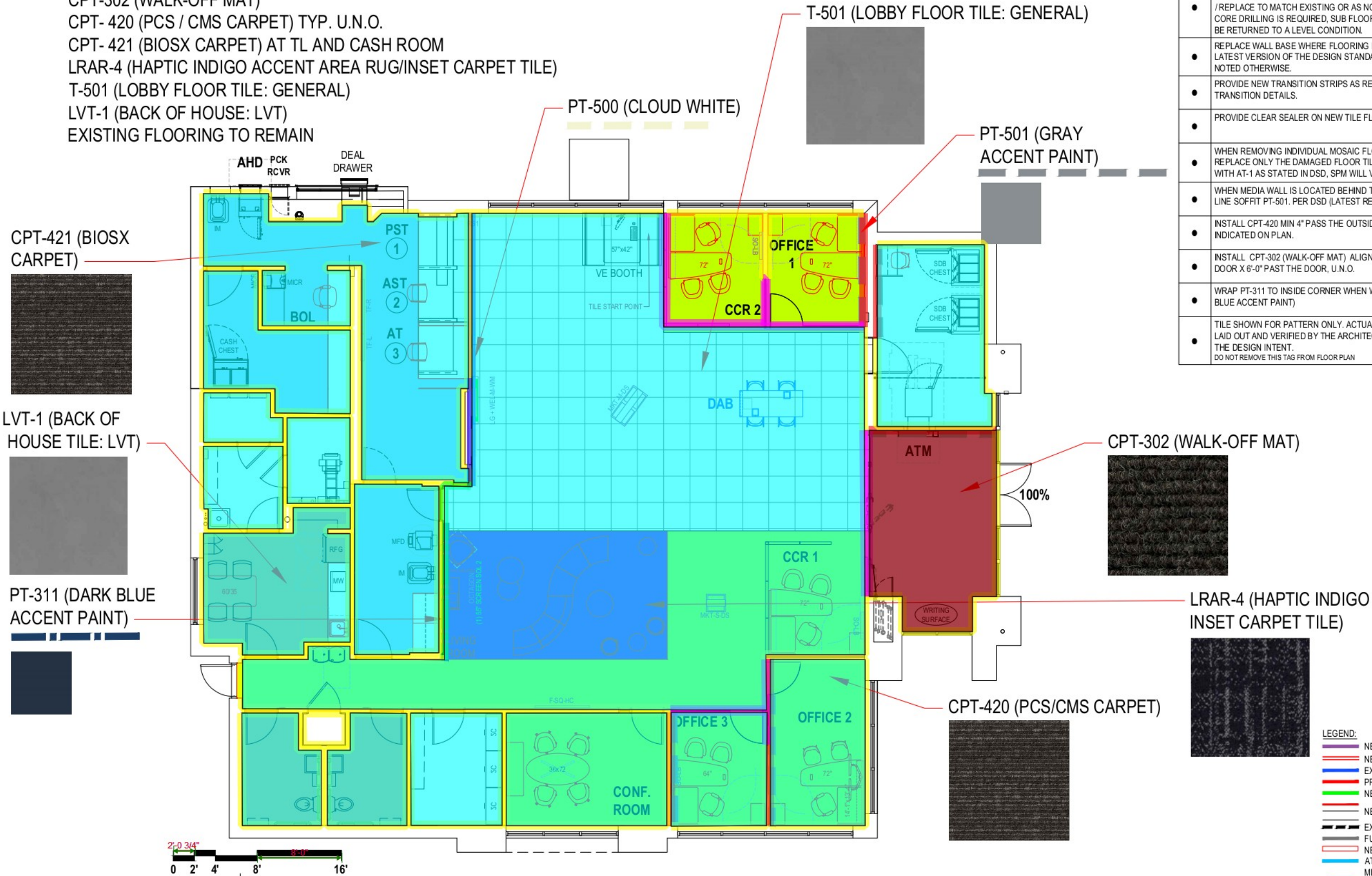
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PROPOSED FINISHES:

- PT-500 GENERAL PAINT THROUGHOUT (U.N.O.)
- PT-311 (DARK BLUE ACCENT PAINT)
- PT-501 (GRAY ACCENT PAINT)
- CPT-302 (WALK-OFF MAT)
- CPT- 420 (PCS / CMS CARPET) TYP. U.N.O.
- CPT- 421 (BIOSX CARPET) AT TL AND CASH ROOM
- LRAR-4 (HAPTIC INDIGO ACCENT AREA RUG/INSET CARPET TILE)
- T-501 (LOBBY FLOOR TILE: GENERAL)
- LVT-1 (BACK OF HOUSE: LVT)
- EXISTING FLOORING TO REMAIN

FINISH PLAN GENERAL NOTES	
•	ALL NEW FINISHES AND MATERIALS TO MATCH EXISTING, UNLESS NOTED OTHERWISE.
•	GC WILL REFERENCE THE INTERIOR FINISH MATERIAL SCHEDULE ON THE LATEST VERSION OF THE DESIGN STANDARDS DRAWINGS (DSD). SCOPING SPM WILL VERIFY THE EXISTING FINISHES AND PROVIDE NOTIFICATION TO AD&E DEPARTMENT.
•	EXISTING FLOORING TO REMAIN UNLESS NOTED OTHERWISE OR AFFECTED BY DEMOLITION / CONSTRUCTION. PATCH, REPAIR, AND INFILL / REPLACE TO MATCH EXISTING OR AS NOTED. WHERE TRENCHING OR CORE DRILLING IS REQUIRED, SUB FLOOR AND / OR SUBSTRATE SHALL BE RETURNED TO A LEVEL CONDITION.
•	REPLACE WALL BASE WHERE FLOORING IS BEING REPLACED PER THE LATEST VERSION OF THE DESIGN STANDARD DRAWINGS (DSD), UNLESS NOTED OTHERWISE.
•	PROVIDE NEW TRANSITION STRIPS AS REQUIRED. REFER TO FLOOR TRANSITION DETAILS.
•	PROVIDE CLEAR SEALER ON NEW TILE FLOORING
•	WHEN REMOVING INDIVIDUAL MOSAIC FLOOR TILES - REMOVE AND REPLACE ONLY THE DAMAGED FLOOR TILES AS NEEDED. REPLACE TILES WITH AT-1 AS STATED IN DSD, SPM WILL VERIFY PRIOR TO REMOVAL.
•	WHEN MEDIA WALL IS LOCATED BEHIND THE TELLER LINE; PAINT TELLER LINE SOFFIT PT-501. PER DSD (LATEST REVISION).
•	INSTALL CPT-420 MIN 4" PASS THE OUTSIDE OF THE OFFICE DOOR, OR AS INDICATED ON PLAN.
•	INSTALL CPT-302 (WALK-OFF MAT) ALIGNED WITH WIDTH OF ENTRY DOOR X 6'-0" PAST THE DOOR, U.N.O.
•	WRAP PT-311 TO INSIDE CORNER WHEN WALL IS FURRED OUT (DARK BLUE ACCENT PAINT)
•	TILE SHOWN FOR PATTERN ONLY. ACTUAL TILE SIZE AND SPACING TO BE LAID OUT AND VERIFIED BY THE ARCHITECT OF RECORD TO REFLECT THE DESIGN INTENT. DO NOT REMOVE THIS TAG FROM FLOOR PLAN



- LEGEND:
- NEW SIGNAGE / MARKETING
 - NEW GYP. WALL
 - EXISTING FURNITURE RELOCATED
 - PROPOSED ITEMS
 - NEW TECHNOLOGY
 - NEW KEVLAR PANELS ON WALL
 - EXISTING SIGNAGE / MARKETING
 - FUTURE
 - NEW BORDER TILE
 - ATM REFRESH / PANEL RE-SKIN / MILLWORK RELAMINATION
 - # KEYED NOTE

FINISH PLAN